

CITY OF ABBEVILLE
REQUIREMENTS FOR MOBILE HOMES

NO MOBILE HOME MAY BE PERMITTED WITHIN THE SMART ZONE OR ANY SUBDIVISION OR NEIGHBORHOOD THAT RESTRICTS MOBILE HOMES. RESTRICTIONS CAN BE OBTAINED FROM THE CLERK OF COURTS OFFICE.

BEFORE PERMITS CAN BE ISSUED:

- Receive approval from Mayor.
- Inspection of Premises form attached must be brought to Primeaux, Touchet & Assoc. Before trailer is moved onto property it must be Inspected to meet the following: **See Sec. 11-41 attached for setback requirements.**

FURNISH CITY WITH THE FOLLOWING WHEN APPLYING FOR PERMIT: NOTE:WITHOUT THIS INFORMATION, THE INSPECTOR CANNOT VERIFY PROPER ZONING AND THEREFORE **A PERMIT SHALL NOT BE ISSUED.**

- For New Mobile Homes- bring in copy of Data Sheet with the HUD ID Label Number on the sheet and a copy of floor plans from the manufacturer (mobile home dealer)
- For Used Mobile Homes-bring in copy of Bill of Sale, Title or Act of Donation. All information on Data Sheet (found in kitchen cabinet under sink, on or near main electrical panel, or in bedroom closet) and/or MFG American National Standard Verification Label (Metal plate found on label located on frame or tongue of mobile home, etc) This information verifies building period meets the standard of mobile home: fire, wind, etc.
- Plat of Property - If you don't have one, it can be obtained at the Clerk of Court's Office, 1st floor of the Court House, (337)898-1992.
- Address - If you don't have one, it can be obtained by contacting the City's permit Department at (337)898-4213
- Proof of ownership of property - You must provide our office with this information in order to obtain permit.
- If family owns property - You must provide a notarized Family Permission Affidavit.
- Property/Lease - You must provide our office with this information in order to obtain permit. **PLEASE DISPLAY ADDRESS ON MOBILE HOME AS SOON AS IT IS PLACED ON PROPERTY.**(see Sec. 5-11 to 5-17 attached)
- Size and Year of Mobile Home
- Elevation Certificate- If trailer is in flood zone, contact Licensed Engineer for letter of elevation. (A final elevation certificate will be required for a Certificate of Occupancy)
Listed below are local Engineers:
 - Langlinais, LeBlanc & Assoc. 893-7643
 - Primeaux & Assoc. 893-8397
 - Sellers & Assoc. 893-2808

Cost of Permit – is determined by the cost of New or Used mobile home.

PERMITS REQUIRED:

- MOVING PERMIT to be purchased by mobile home mover at cost of **\$35.00**. Additional **\$25.00 per man per hour** for police officers required. Additional **\$200.00** is required if electrical crew assistance is needed. Home mover must have a copy of license from State of Louisiana on file in this office before permit can be issued.
- BUILDING PERMIT to be purchased by mobile homeowner. Cost of Permit is based on the cost of mobile home.
- ELECTRICAL PERMIT to be purchased by Licensed Electrician for new service or upgrade. Electrician must also fill out Electrical Inspection form once work is complete. **Contact City to inspect before electricity can be connected.** *SEE DIAGRAM FOR PROPER POLE INSTALLATION.
- WATER & SEWERAGE PERMITS to be purchased by State Licensed Plumber for each new service or tie in. **No water meter will be installed and no service will be connected until the following is installed:**
 - Shutoff valve in accordance with Sec. 610.1 attached)
 - Sewer clean out in accordance with Sec. 710.2.2-710.2.4 attached)**Contact City to inspect plumbing before work is covered**

INSPECTIONS REQUIRED: Two Inspections are required by the 2009 Wind & Flood Bldg Codes:
- Plumbing Inspection and Anchoring Inspection

(These inspections are to be done by City's Inspector (Richard Primeaux) & turned in to Permit Department)
INSPECTION FEE OF \$220.00 MUST BE PAID AT THE TIME THE BUILDING PERMIT IS ISSUED.
NOTE: RESPONSIBILITY OF HOME OWNER TO CONTACT INSPECTOR FOR THESE INSPECTIONS

- City Plumbing Inspector must inspect water & sewerage work and Anchorage of the mobile home. (See Sec. 11-42 attached).
- Electrical Inspector must inspect electrical work before electric service can be given.

AFTER ALL OF THE ABOVE ARE TAKEN CARE OF, THE ORDER CAN BE APPROVED FOR LIGHTS AND WATER TO BE CONNECTED.

NOTE:

***IF MOBILE HOME REQUIRES REMODELING, ALL LOUISIANA STATE UNIFORM CONSTRUCTION CODES MUST BE FOLLOWED.**

***NO MOBILE HOME OVER 15 YEARS OF AGE MAY BE PERMITTED WITHIN THE CITY LIMITS OF ABBEVILLE. (Sec. 11-40 attached)**

***NO MOBILE HOME MEASURING LESS THAN 14' IN WIDTH BY 65' IN LENGTH, AND NO MANUFACTURED HOME CONTAINING LESS THAN 700 SQ. FT. MAY BE TRANSPORTED OR RELOCATED WITHIN THE CITY LIMITS. (Sec. 11-40 attached)**

***ONLY MOBILE HOMES MAY BE PERMITTED – CAMPERS & CAMPER TRAILERS WILL NOT QUALIFY. (Sec. 11-9 attached)**

Please contact Permit Department if any questions at (337)898-4212 or (337)898-4213. (Permit Hours: 8:30-4:00)

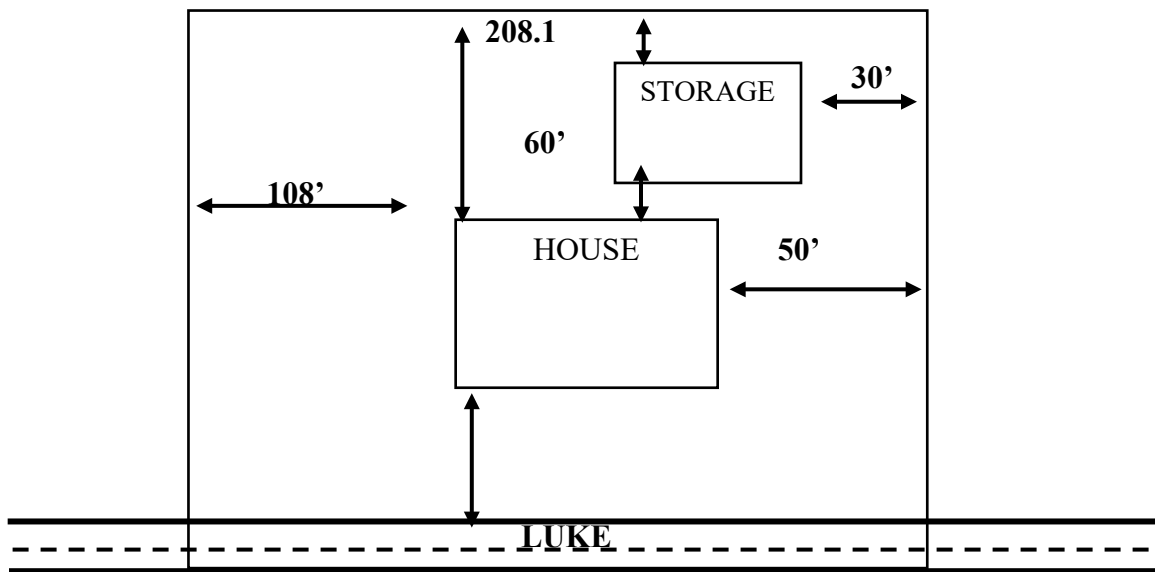
SITE PLAN – Can be drawn by homeowner

- Property lines and lot dimensions
- All easements (utility, drainage, etc.) any other encumbrances
- Existing and proposed overhead utility lines
- All buildings and structures on the site and their dimensions (main building(s), storage building(s), porches/canopies, signs, fences, etc.) For additions, identify existing building(s) and addition(s)
- Parking lot and each parking space (Commercial Buildings ONLY)
- All driveways and sidewalks, showing width and location
- All required landscaping and tree, not to interfere with overhead utility lines (if required or commercial building)
- Front setback (distance from front of building to front property line) as well as side and rear setbacks
- Edge of the road shown in relation to the property line
- **NOTE:** Direction of compass in relation to site plan.



PLEASE SEE "SITE PLAN EXAMPLE"

NOTE: IN SOME CASES, ADDITIONAL INFORMATION MAY BE REQUIRED



FOUNDATION PLAN – Can be drawn by homeowner

- Verify setbacks (per site plan)
- What type of foundation?
- What materials used for foundation, for reinforcement (size, type, placement of materials,) NOTE: Foundation blocks used must be of solid content.
- Indicate if using electrical, plumbing, gas, etc. in foundation
- Dimensions of foundation, interior footing or pads, exterior footings or pads, depth and width, slab thickness, support walls
- Form of excavations (free of stumps, roots, or other foreign matter)
- Garage floor sloped to garage opening or approved drain
- Verification of termite treatment
- Rodent protection required
- If necessary (loose soil, sandy soil, drainage problems need soil density report or compaction test)

The following *City of Abbeville Ordinances* provide guidelines and explanations for requirements.

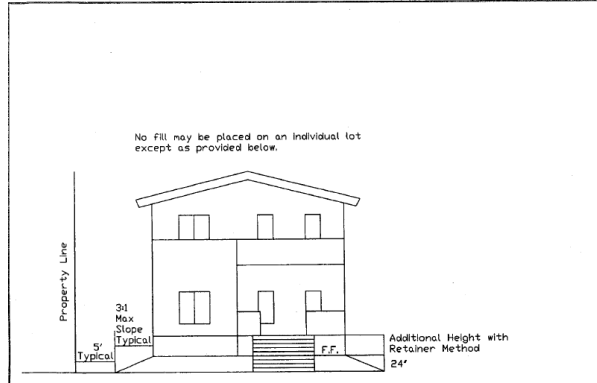
https://library.municode.com/la/abbeville/codes/code_of_ordinances

CHAPTER 5 – ARTICLE I – SECTION 5 – 1 CODES ADOPTED

CHAPTER 5 – ARTICLE I – SECTION 5 – 4 BUILDING PERMITS REQUIRED

CHAPTER 5 – ARTICLE I – SECTION 5 – 8 SEPARATION BETWEEN RESIDENTIAL AND/OR COMMERCIAL PROPERTIES

CHAPTER 5 – ARTICLE I – SECTION 5 – 9 SEPARATION OF NEW CONSTRUCTION AND DRAINAGE DITCHES



CHAPTER 5 – ARTICLE I – SECTION 5 – 11 REGULATION OF STRUCTURES, GENERAL

CHAPTER 5 – ARTICLE I – SECTION 5 – 12 ASSIGNMENTS OF MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 13 OBLIGATION TO OBTAIN MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 14 POSTING OF MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 15 FAILURE TO POST MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 16 EFFECTIVE DATE

CHAPTER 5 – ARTICLE I – SECTION 5 – 17 PENALTIES, RIGHT OF ENTRY

CHAPTER 5 – ARTICLE V – SECTION 5 – 103 PLUMBING INSPECTIONS AND TESTS REQUIRED

CHAPTER 5 – ARTICLE VI – SECTION 5 – 173 MANUFACTURED AND MODULAR HOUSING PROHIBITED

CHAPTER 11 – MANUFACTURED HOUSING AND MOOBILE HOME ORDINANCES

CHAPTER 15: ARTICLE II – SECTION 15 – 41 USE OF PUBLIC SEWER REQUIRED

CHAPTER 15: ARTICLE II – SECTION 15 – 79, 81, 82 & 87 BUILDING SEWERS AND CONNECTIONS

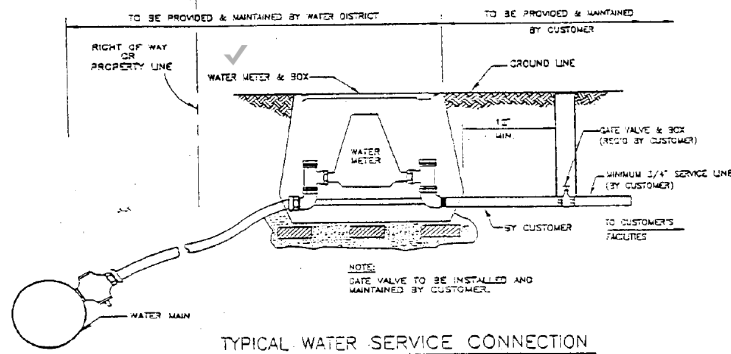
CHAPTER 18: ARTICLE I – SECTION 18 – 3 APPLICATION FOR SERVICE - WATER

CHAPTER 18: ARTICLE II – SECTION 15 – 41 USE OF PUBLIC SEWER REQUIRED

Louisiana State Plumbing Codes

http://www.ecodes.biz/ecodes_support/Free_Resources/louisiana/Louisiana_main.html

CHAPTER 6 – SECTION 610 – VALVES REQUIREMENTS



CHAPTER 7 – SECTION 710 – CLEAN-OUTS

IN ADDITION TO THE ABOVE, THE CITY IS REQUIRING A CLEAN-OUT TO BE INSTALLED WHICH IS EASILY ACCESSABLE BY CITY PERSONEL AT ALL TIMES. THE LOCATION OF THE CLEAN-OUT WILL BE DIRECTED BY CITY PERSONEL. CLEAN-OUT LOCATIONS SHALL BE INCLUDED ON DRAWINGS.

National Electrical Codes

<https://www.mikeholt.com/mojonewsarchive/NEC-HTML/HTML/Article230-Services~20020219.htm>

ARTICLE 230 – SERVICES - VERTICAL CLEARANCE INFORMATION