

CITY OF ABBEVILLE
RESIDENTIAL CONSTRUCTION
NEW CONSTRUCTION/ADDITION/MODULAR HOMES



(NEED TO FOLLOW THE 2009 IBC/IRC WIND & FLOOD BUILDING CODES)

BEFORE BLDG PERMIT CAN BE ISSUED:

- IF BUILT IN SMART ZONE, APPLICANT MUST RECEIVE APPROVAL FROM MAYOR
- IF LOCATED IN MAIN STREET/HISTORIC DISTRICT, APPLICANT MUST RECEIVE APPROVAL FROM PLANNING & ZONING
- REVIEW & APPROVAL OF CONSTRUCTION DRAWINGS
 - If submitting online, one (1) copy must be uploaded
 - If submitting at office, three (3) copies must be turned in

NOTE: PRE-FAB BLDGS ON SKIDS – 500 SQ FT OR LESS DO NOT REQUIRE CONSTRUCTION PLANS, BUT DO REQUIRE SITE & FOUNDATION PLAN, A FOUNDATION AND ELECTRICAL INSPECTION.

FURNISH CITY WITH THE FOLLOWING WHEN APPLYING FOR PERMIT:

*****NOTE: A PLAN REVIEW FOR CITY AND AN ADMINISTRATIVE FEE WILL BE CHARGED TO THE APPLICANT TO COVER THIS PLAN REVIEW AND INSPECTIONS *****

Drawings must include:

- Electrical Service Plan/Floor Plan
- Plumbing Lay-out to include the following:
 - Location of sewer clean-outs (See Sec. 710.2.2-710.2.4 attached)
 - Location of Shut off valve (must be placed on private property near water meter) (see Sec. 610.1 attached)
- Site Plan of Property (see attached site plan requirements)
- Foundation Plan (see attached foundation plan requirements)
- Drainage Plan

FOR MODULAR HOMES ONLY: Letter from manufacturer and/or builder of home, stating compliance with IRC 2009 Codes. **(See Sec. 5-173 attached: Modular housing prohibited in certain districts)**

Additional Requirements for Building Permit:

Address of construction. If you do not have one, it can be obtained by contacting the City's Permit Department at (337)898-4213.

Address must be displayed on building (see Sec. 5-11 to 5-17 attached)

Plat of Property If you do not have one, it can be obtained at Clerk of Court's Office, 1st floor of Court House, (337)898-1992

Elevation Certificate of property (required only if property is located in a designated flood zone)

CONTACT LICENSED ENGINEER FOR LETTER OF ELEVATION.

LISTED BELOW ARE LOCAL ENGINEERS:

LANGLINAIS, LEBLANC & ASSO	893-7643
PRIMEAUX & ASSOC	893-8397
SELLERS & ASSOC	893-2808

(A final elevation certificate will be required for a Certificate of Occupancy)

Cost of Permit is determined by the cost of construction and plan review fee.

Copy of LA State Contractors License on contractor building said structure.

Culvert Permit is required if covering any ditches. (Permit Applications are available online or in the Permit Dept)

THE FOLLOWING PERMITS MAY BE REQUIRED IF PROJECT IS LOCATED ON STATE HIGHWAY:

LADOTD Driveway Permit and/or LADOTD Project Permit (Contact local LADOTD OFFICE AT 337-893-5523)

IF THE OWNER IS SELF CONTRACTING: THE AFFIDAVIT MUST SIGNED AND NOTARIZED BEFORE RETURNING TO CITY OF ABBEVILLE PERMITS DEPARTMENT.

BLDG PERMIT CAN BE ISSUED ONCE ABOVE IS TAKEN CARE OF.

NOTES: (SEE BOUNDARY LINE REQUIREMENTS IN SEC 5-8 & 5-9 & BUILDING PERMIT REQUIREMENTS IN SEC 5-4 ATTACHED)

REQUIREMENTS FOR UTILITY CONNECTIONS:

- Licensed electrician and/or plumber can purchase permits for electric and/or water/sewer connections online (i-WORQ with code) or by visiting the Permit Department at City Hall.
- Arrangements for inspections can be made by submitting online (I-WORQ with code) or by calling Primeaux, Touchet's & Associates at 337-893-8397)

***SUBMIT ONLINE OR CALL FOR ELECTRICAL AND/OR WATER & SEWER INSPECTIONS BEFORE COVERING WORK**
CONSTRUCTION ELECTRICITY CAN BE GIVEN AFTER ELECTRICAL PERMIT IS ISSUED.

INSPECTIONS REQUIRED ONCE CONSTRUCTION BEGINS: (TO BE DONE BY PRIMEAUX, TOUCHET & ASSOCIATES)

FOUNDATION INSPECTION PLUMBING INSPECTION
OPEN-WALL INSPECTION ELECTRICAL INSPECTION
ROOF INSPECTION MECHANICAL/FUEL GAS
FINAL INSPECTION

*****NOTE: RESPONSIBILITY OF HOMEOWNER/CONTRACTOR TO CONTACT PRIMEAUX, TOUCHET & ASSOCIATES FOR THESE INSPECTIONS*****

FINAL ELECTRICITY AND/OR WATER/SEWER WILL NOT BE GIVEN UNTIL THESE INSPECTIONS HAVE BEEN RECEIVED AND FINAL ELEVATION CERTIFICATE (if in a designated Flood Zone) ARE SUBMITTED AND APPROVED BY THE CITY OF ABBEVILLE.

(At this time, a Certificate of Occupancy will be issued).

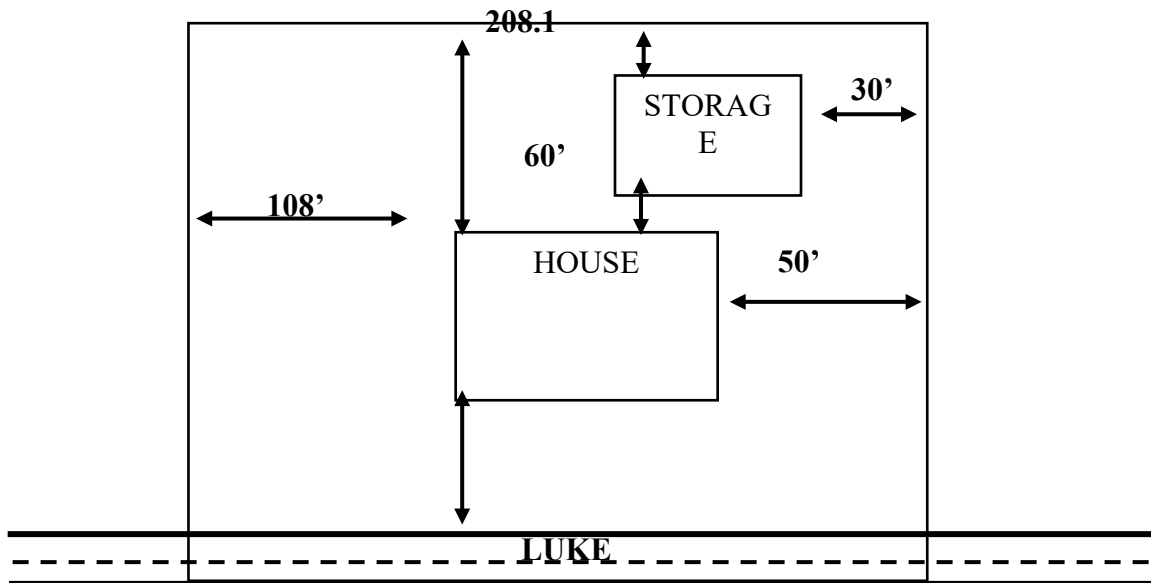
SITE PLAN – Can be drawn by homeowner

- Property lines and lot dimensions
- All easements (utility, drainage, etc.) any other encumbrances
- Existing and proposed overhead utility lines
- All buildings and structures on the site and their dimensions (main building(s), storage building(s), porches/canopies, signs, fences, etc.) For additions, identify existing building(s) and addition(s)
- Parking lot and each parking space (Commercial Buildings ONLY)
- All driveways and sidewalks, showing width and location
- All required landscaping and tree, not to interfere with overhead utility lines (if required or commercial building)
- Front setback (distance from front of building to front property line) as well as side and rear setbacks
- Edge of the road shown in relation to the property line
- **NOTE:** Direction of compass in relation to site plan.



PLEASE SEE "SITE PLAN EXAMPLE"

NOTE: IN SOME CASES, ADDITIONAL INFORMATION MAY BE REQUIRED



FOUNDATION PLAN – Can be drawn by homeowner

- Verify setbacks (per site plan)
- What type of foundation?
- What materials used for foundation, for reinforcement (size, type, placement of materials,) NOTE: Foundation blocks used must be of solid content.
- Indicate if using electrical, plumbing, gas, etc. in foundation
- Dimensions of foundation, interior footing or pads, exterior footings or pads, depth and width, slab thickness, support walls
- Form of excavations (free of stumps, roots, or other foreign matter)
- Garage floor sloped to garage opening or approved drain
- Verification of termite treatment
- Rodent protection required
- If necessary (loose soil, sandy soil, drainage problems need soil density report or compaction test)

The following **City of Abbeville Ordinances** provide guidelines and explanations for requirements.

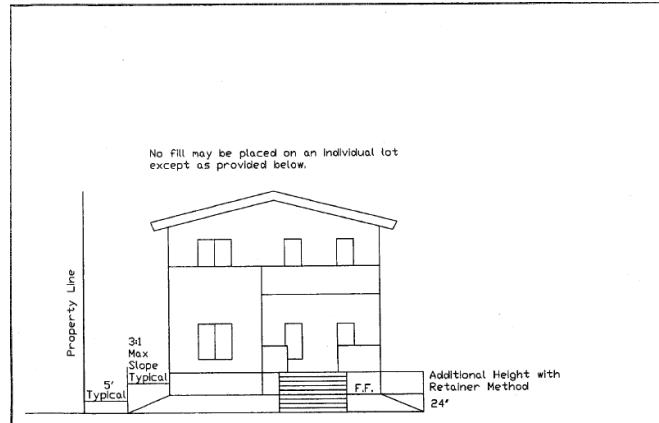
https://library.municode.com/la/abbeville/codes/code_of_ordinances

CHAPTER 5 – ARTICLE I – SECTION 5 – 1 CODES ADOPTED

CHAPTER 5 – ARTICLE I – SECTION 5 – 4 BUILDING PERMITS REQUIRED

CHAPTER 5 – ARTICLE I – SECTION 5 – 8 SEPARATION BETWEEN RESIDENTIAL AND/OR COMMERCIAL PROPERTIES

CHAPTER 5 – ARTICLE I – SECTION 5 – 9 SEPARATION OF NEW CONSTRUCTION AND DRAINAGE DITCHES



CHAPTER 5 – ARTICLE I – SECTION 5 – 11 REGULATION OF STRUCTURES, GENERAL

CHAPTER 5 – ARTICLE I – SECTION 5 – 12 ASSIGNMENTS OF MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 13 OBLIGATION TO OBTAIN MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 14 POSTING OF MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 15 FAILURE TO POST MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 16 EFFECTIVE DATE

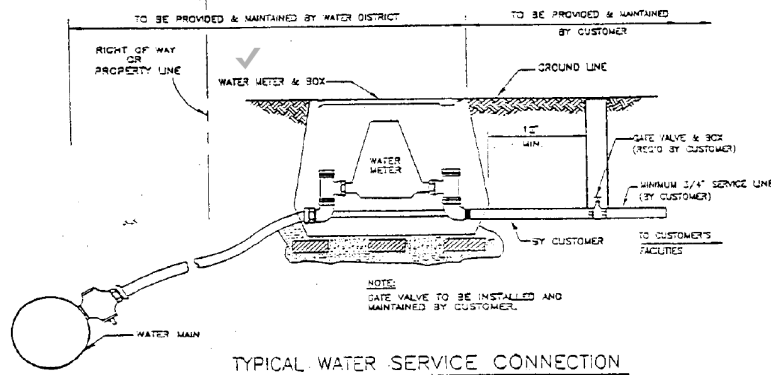
CHAPTER 5 – ARTICLE I – SECTION 5 – 17 PENALTIES, RIGHT OF ENTRY

CHAPTER 5 – ARTICLE VI – SECTION 5 – 173 MANUFACTURED AND MODULAR HOUSING PROHIBITED

Louisiana State Plumbing Codes

http://www.ecodes.biz/ecodes_support/Free_Resources/louisiana/Louisiana_main.html

CHAPTER 6 – SECTION 610 – VALVES REQUIREMENTS



CHAPTER 7 – SECTION 710 – CLEAN-OUTS

IN ADDITION TO THE ABOVE, THE CITY IS REQUIRING A CLEAN-OUT TO BE INSTALLED WHICH IS EASILY ACCESSIBLE BY CITY PERSONEL AT ALL TIMES. THE LOCATION OF THE CLEAN-OUT WILL BE DIRECTED BY CITY PERSONEL. CLEAN-OUT LOCATIONS SHALL BE INCLUDED ON DRAWINGS.

National Electrical Codes

<https://www.mikeholt.com/mojonewsarchive/NEC-HTML/HTML/Article230-Services~20020219.htm>

ARTICLE 230 – SERVICES - VERTICAL CLEARANCE INFORMATION

ATTENTION CONTRACTORS

An important message from the

LOUISIANA STATE LICENSING BOARD FOR CONTRACTORS



Home Improvement Contracting



ACT 193

Effective August 1, 2012

Home Improvement Contractor registration and a written Home Improvement Contract will be required for projects exceeding \$1,500 but not in excess of \$75,000.

Home Improvement Contractors are required to provide proof of Workers' Compensation and proof of General Liability Insurance in a minimum amount of \$100,000.

Act 193 prohibits Home Improvement Contractors from advertising or promising to pay or rebate all or any portion of an applicable insurance deductible as an inducement to the sale of goods or services in connection with the repair or replacement of a roof system.

CAUTION: Please review Act 193 in its entirety at www.legis.state.la.us.

Remember to always hire a Louisiana State Licensed or Registered Contractor to protect your construction project.

For license or registration verification, please check the website at
www.lslbc.louisiana.gov

LOUISIANA STATE LICENSING BOARD FOR CONTRACTORS

2525 Quail Drive • Baton Rouge, Louisiana 70808
(225) 765-2301 or (800) 256-1392

PUBLISHED TO INFORM AND UPDATE LOUISIANA'S CONSTRUCTION INDUSTRY

Licensing requirements for contractors in Louisiana

Residential Building License

- Required for residential construction or home improvement projects exceeding \$75,000
- Financial statement with a minimum of \$10,000 net worth (current within 12 months of application)
- Must take Business & Law exam
- Must take Residential Building exam
- Provide proof of general liability insurance with a minimum amount of \$100,000
- Provide proof of workers' compensation coverage

Home Improvement Registration

- Required for home improvement projects with a value exceeding \$1,500 but not in excess of \$75,000
- Provide proof of general liability insurance with a minimum amount of \$100,000
- Provide proof of workers' compensation coverage

Commercial Building License

- Required for commercial projects with a value of \$50,000 or more
- Financial statement with a minimum of \$10,000 net worth (current within 12 months of application)
- Must take Business & Law exam
- Must take Trade exam
- Hire properly licensed subcontractors

Subcontractor/Specialty Trade License

- Required for commercial projects with a value of \$50,000 or more
- Exceptions - Electrical/Mechanical/Plumbing require license for projects exceeding \$10,000; Asbestos, Hazardous Waste, Lead Based Paint Abatement/Removal, Underground Storage Tanks require license for projects with a value of \$1.00 or more
- Financial statement with a minimum of \$10,000 net worth (current within 12 months of application)
- Must take Business & Law exam
- Must take Trade exam

Mold Remediation License

- Required for mold remediation projects with a value of \$1,000 or more
- Financial statement with a minimum of \$10,000 net worth (current within 12 months of application)
- Must take Business & Law exam
- Must complete 24 hours of approved mold remediation and mold assessment training
- Must complete 4 hours of instruction in Louisiana's Unfair Trade and Consumer Protection Law
- Provide proof of general liability insurance with a minimum amount of \$50,000
- Provide proof of workers' compensation coverage



Application forms and fee schedules are available on the LSIBC website, www.lacontractor.org. All licenses and the registration require compliance with Contractors Licensing Law. An updated version of the Contractors Licensing Law book is available on the LSIBC website.



ATTENTION CONTRACTORS



An important message from the
LOUISIANA STATE LICENSING BOARD FOR CONTRACTORS
Residential Specialty Classifications
Effective January 20, 2016

Licenses for six new specialty classifications are now required for those residential subcontractors who bid or perform work that exceeds \$7,500, including labor and materials, on any new single family residential home, duplex, triplex or fourplex.

The new specialty classifications are:

- Residential pile driving
- Residential foundations
- Residential framing
- Residential roofing
- Residential masonry/stucco
- Residential swimming pools

Contractors requesting these specialty licenses must complete an application for licensure; pass both the Business and Law, and the specialty trade exam; and provide proof of current liability and workers' compensation insurance coverage.

Subcontractors performing work under any specialty above for homeowners who are building their own home must be licensed for that specialty.

A subcontractor who works under the direct supervision of a licensed residential building contractor may obtain a subcontract-labor-only specialty classification by:

- Completing and submitting an application
- Submitting an affidavit executed by a licensed residential building contractor that attests to the subcontractor's quality of work and character
- Passing the Law, Rules and Regulations exam
- Providing proof of current liability and workers' compensation insurance

Electrical, mechanical and plumbing work in excess of \$10,000 requires a license issued by this Board.

For more information contact us at (225) 765-2301
or visit www.LAContractor.org

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