

REQUIRMENTS FOR MOBILE HOME PERMITS

Name: _____

Address: _____

Size of Mobile Home: _____

Data Sheet/Hud number: _____

Will the moving company have to pass over any City sidewalks _____? If so, please submit pictures of the sidewalks before and after mobile home is placed on property.

Proof of ownership of property/land

If your property is in a flood zone, you will need an Certificate of Elevation

Site plan showing dimensions of property with placement of mobile home and set backs showing on site plan. {see sample site plan in packet}

Lease Agreement from landlord

If family property, notarized permission form from all owners{get from permit dept.

Moving Company: _____

City of Abbeville
Landowner Permission & Liability Acknowledgment Form
For Placement of a Mobile Home on Private Property

Property Owner Information

Name: _____

Address: _____

Phone Number: _____

Email: _____

Proof of Ownership {attached copy}: Cash Deed _____ Property Tax Statement _____ Cash Sale _____

Copy of **valid, legible** driver's license of property owner

Property Address Where Mobile Home Will Be Located:

Mobile Home Owner (Occupant) Information

Name: _____

Phone Number: _____

Mailing Address: _____

Permission to Place Mobile Home

I, the undersigned property owner, hereby give permission to the individual named above to place and occupy a mobile home on my property located at the address listed above.

Acknowledgment of Responsibility

I understand and agree to the following:

1. The mobile home must meet all applicable codes, ordinances, and regulations set forth by the City of Abbeville, including but not limited to zoning, utility connections, structural requirements, and appearance standards.
 2. In the event that any violations or code infractions are reported or discovered regarding the mobile home, I acknowledge that I, as the landowner, will be held **legally and financially responsible** for resolving all such violations **if the mobile home owner fails to correct the issues** in a timely manner, including the cost for the demolition of the mobile home if the city has to contract out. RS 33:4761- condemnation of buildings by all parishes and municipalities. The governing authority of any parish or municipality may condemn and cause to be demolished or removed any building or structure within the parish or municipality when it is in a dilapidated and dangerous condition which endangers the public welfare.
 3. I understand that unresolved violations may result in enforcement actions, fines, or other penalties imposed by the City of Abbeville and that it is my duty to maintain compliance on my property at all times.
 4. I further understand that allowing a mobile home to be placed on my property does not transfer ownership rights or responsibilities and that I remain the responsible party for maintaining the overall condition and lawful use of the land.
-

Signature of Property Owner: _____

Date: _____

Signature of Mobile Home Owner: _____

Date: _____

Witness signature: _____ Witness print: _____

(Signature of Notary Public)

Printed Name: _____

Notary ID or Bar Roll No.: _____

**CITY OF ABBEVILLE
MOBILE HOME PERMIT
APPLICATION**



Application is hereby made for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to all City and State Laws and Ordinances and which are hereby agreed to by the undersigned and which shall be deemed a condition entering into the exercise of this permit.

RECORD OWNER (as shown on deed)

Full Name: _____ Phone: _____

Mailing Address _____

Email Address _____

Address of Construction: _____

New Dwelling Construction, are there any other dwellings on this tract: _____ How many? _____

Existing Structure (number and type): _____

MOVING COMPANY INFORMATION:

Name: _____

Mailing Address: _____

Phone: _____ Louisiana State Contractor's License #: _____

MOBILE HOME INFORMATION:

Estimated Cost of Mobile Home: _____ Year of Mobile Home: _____

Size of Mobile Home: _____

- I own the property the mobile home will be placed on. Yes No
- My family owns the property the mobile home will be placed on. Yes No
- I am renting/leasing the property the mobile home will be placed on. Yes No

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing the above proposed work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other statement, local, or state law regulating construction or the performance of construction.

Electronic Signature Agreement

I understand and agree that my application will be signed electronically when I type my name in the signature box **AND** select the check box below. I also understand that my electronic signature means that I intend to apply for this permit/application and have provided the City of Abbeville with accurate information.

I understand that under penalty of perjury that I have examined all the information on this application, and it is true and correct to the best of my knowledge. I understand that anyone who knowingly gives a false or misleading statement about a material fact in this electronic application, or causes someone else to do so, commits a crime and may be sent to prison or may face other penalties, or both.

Signature _____

Date _____

I have read and agree with the statements above.

FOR OFFICE USE ONLY

Smart Zone

Flood Zone

Planning Zone Approval

Main Street District

Historical District

Cultural District

Council District _____

Permit # _____

Permit Fee \$ _____

Admin Fee \$ _____

MANUFACTURED HOME CERTIFICATIONS

Visit: <https://lvr2.ibts.org/#/LandingPage>

Manufactured Home Certifications



Unsure about which
product to order?



Help Videos



FAQ



HUD > Program Offices > Housing > RMRA > MHS > HUD- Missing HUD Labels (Tags) Manufactured Housing & Standards

HUD Labels (Tags)

Label Verification

HUD does not reissue tags for manufactured homes. However, the Department can issue a letter of label (tag) verification for units for which it can locate the necessary historical information. The label numbers can be found on a data plate inside the home in one of three locations: on or near the main electrical panel, in a kitchen cabinet, in a bedroom closet. The data plate has a map of the United States to let the consumer know the Wind Zone and Snow Load for which their home was built.

You may request letters of label verification from the Institute for Building Technology and Safety (IBTS), by visiting **IBTS'** website. You may also contact IBTS' Label Department at 703-481-2010 or via fax at 703-437-6894.

Frequently Asked Questions

What is a HUD Label?

The **Certification Label** (also known as a HUD tag) is a metal plate that is affixed to the outside of the manufactured home. Section 3280.11(b) states, "The label shall be approximately 2 in. by 4 in. in size and shall be permanently attached to the manufactured home by means of 4 blind rivets, drive screws, or other means that render it difficult to remove without defacing it. ...The label number shall be etched or stamped with a 3 letter designation which identifies the production inspection primary inspection agency, and which the Secretary shall assign. Each label shall be marked with a 6 digit number which the label supplier shall furnish. The labels shall be stamped with numbers sequentially."

What is a Data Plate?

The **Data Plate** is a paper label affixed inside the home and is located in a kitchen cabinet, an electrical panel, or a bedroom closet. The Data Plate will contain the following information: (a) the name and address of the manufacturing plant in which the home was manufactured, (b) the serial numbers and model designation, and the date the unit was manufactured, (c) a statement which references that the home was built in accordance to the Manufactured Home Construction and Safety Standards, (d) a list of

DECLARATION OF EMERGENCY

Office of the Governor Manufactured Housing Commission

Placement of Used Homes (LAC 55:V.519)

In accordance with the emergency provision of the Administrative Procedure Act, R.S.49: 953(B), which allows the Louisiana Manufactured Housing Commission (hereinafter sometimes the "Commission") to use emergency procedures to establish rules, and under the authority of R.S. 51: 911.26(E), the Director of the Louisiana Manufactured Housing Commission declares that an emergency action is necessary to adopt appropriate construction and/or installation standards for the siting of used manufactured homes in the secondary market.

In consequence of the vast devastation and destruction sustained by property owners in the areas of the State affected by Hurricanes Katrina and Rita, many citizens of the state are utilizing or contemplating utilizing manufactured housing to address their housing needs. In order to minimize the potential of risk to public health, safety and welfare, it is imperative that used manufactured homes be properly sited in accordance with federal construction standards for the various wind zones within the state. Accordingly, pursuant to its permissive grant of authority to adopt appropriate construction and installation standards for manufactured housing in the State of Louisiana, the Commission now acts to adopt by rule and/or regulation construction and installation standards to govern the siting of used manufactured housing in the secondary market as follows:

Title 55

PUBLIC SAFETY

Part V. Fire Protection

Chapter 5. Manufactured Housing (Installation)

Subchapter A. General Requirements

Section 519. Placement of Used Homes

A. In accordance with 24 CFR Ch. XX § 3280.305 et seq., used manufactured homes in the secondary market shall be sited effective January 1, 2007 in accordance with federal wind zone standards applicable for new homes in Louisiana zone II and III as set forth in 24 CFR Ch. XX § 3280.305 et seq., and thereafter amended. However, if any manufactured home is sited or is located at a retail outlet within Louisiana wind zone II or III as of January 1, 2007 and the siting of this home or the location of this home at a retail outlet within wind zone II or III can be definitively documented through such means as an installation permit sticker issued by and/or returned to the Commission; a title which uniquely identifies your home and references the physical location of siting; documentation establishing the location of a home at a retail outlet within zone II or III or some other independent means of credible documentation, then such manufactured home

**MANUFACTURED HOME INSTALLATION STANDARDS
FINAL RULE 24 CFR 3280 & 3285
EFFECTIVE DATE OF FINAL RULE OCT. 20 2008**

The final rule establishes new model home installation standards for the installation of new manufactured homes and includes standards for joining multi-section homes.

- 1. In the final rule (3282.303) all new manufactured homes must be installed to the new standard at the initial installation. The manufacturers instructions shall apply under the following conditions, where the manufacturers approved instructions exceed this standard and do not take the home out of compliance.**
- 2. The final rule does not prevent states and local government from enforcing standards for installations after initial installation or from imposing higher installation standards than are required by HUDS minimum model standard for the initial and subsequent installations of a manufactured home. State standards for the initial installation must meet or exceed huds minimum model installation standard, while state standards for secondary installations do not have to adhere to the HUD minimum standard.**

Changes that will be affective

- 1. Base flood elevation: Lowest floor. The lowest floor shall mean the bottom of the longitudinal chassis frame beam in an (a) zone and the bottom of the lowest horizontal structure in a (v) zone. (3285.5)**
- 2. The final rule also clarifies that all enclosed and skirted areas are to be provided with a ground vapor retarder a minimum of 6 mil polyethylene sheeting except in arid regions. (3285.204)**
- 3. The final rule clarifies and requires that a 12" minimum clearance be maintained under the home to the ground including areas between the lowest point of the frame and the grade. (3285.305)**
- 4. Pier heights: The requirements for frame and corner pier height in figure b and the text of the final rule have been reduced from 80" to 67". (3285.306) A professional engineer or registered architect would be required to prepare designs that exceed 67". (3285.309)**
- 5. The final rule has been revised to indicate that all anchors and metal stabilizer plates being used that they must be provided with protection against weather deterioration and corrosion at least equivalent to that provided by a coating of zinc on steel of not less than 0.30 oz./ft² of surface coating. (3285.402) (SUSPENDED UNTIL JUNE 1ST 2009 UNTIL RULING)**
- 6. Longitudinal ties: longitudinal anchoring is required to be provided to resist the design wind forces in all wind zones in the final rule. An example method for providing the longitudinal anchoring requirements in the final rule has been provided (3285.402)**

7. **Bottom board:** The final rule requires any missing insulation be replaced prior to closure and any tear or split in the bottom board to be resealed. (3285.804)
8. The final rule is revised to clarify that no gaps are permitted between structural elements along the mating line of multi-section homes. However the final rule does permit for minor gaps up to 1" prior to completion of the exterior close-up provided all gaps are closed before completion, the home sections are in contact with each other and the mating gasket is providing a proper seal and all such gaps are shimmed. (3285.802)
9. **Flood prone areas:** Prior to initial installation of a new manufactured home, the installer is responsible for determining whether the manufactured home site lies wholly or partially within a flood hazard area. (3285.102) If the Property where the home is to be installed in a flood zone (a) is above the BFE then an engineer is not required to design the foundation. This includes a dirt mound built above the BFE. If the property are mound is below the BFE then a engineer is required to design the foundation.
10. All new home installations will have site preparation, which included a dirt Mound or pad which is crowned under the home and extends past the home 10 feet in all direction with a minimum slope of one half inch per foot. For used home the pad only needs to be crowned under the home.

LOUISIANA MANUFACTURED HOUSING ASSOC.
225-362-5500

The LMHC is the licensing authority in the state of la. For manufactured housing. All manufacturers shipping homes into the state all retailers, dealers, developers and installers are licensed through the LMHC.

The LMHC is responsible for the enforcement of the laws regarding manufactured housings. La statues title 51 911 and 912. The lmhc has investigators who perform investigations and inspections of sales and installations of manufactured housing.

HUD Make the laws governing the installation of manufactured HUD homes in all states and requires that all state programs be approved by HUD and meet or exceed the requirements set forth by HUD. Up until Jan.1 09 HUD said new homes would be installed to the manufacturers specifications and that secondary installations states could decide upon there installation rules. In the state of la the law stated all new homes would be installed to manufacturer's specs and used homes could be either to the manufacturers specs if they were available are to state law when they were not available.

In 2008 HUD came out with new laws regarding installation of new homes and required that all states with a program in place re-certify there program with HUD. This was a response to HUD on how the state was going to apply and enforce the new laws. For states that didn't have a program in place or there program didn't get approval then HUD would take over inspections in those states.

The new laws have created the model installation standard. Effective Jan.1 09 all new homes have to be installed to minimum of this standard (3280 & 3285). New homes can still be installed to the manufacturer's specs. If they meet or exceed this new standard. The final rule does not prevent states and local governments from enforcing standards for installations after the initial installation or from imposing higher installation standards than required by HUDS minimum model installation standard for the initial and subsequent installations of a manufactured home. State standards for initial installation must meet or exceed the new standards while state standards for secondary installations do not have to adhere to the new standard. HUD believes that subsequent installations lies best with state standards.

In 2008 the LMHC began looking at the new standard and and began responding to HUD in the way the lmhc would meet and enforce the new standard. The lmhc also began putting on continuing education classes throughout the state and training dealers installers developers and local permitting authorities and inspectors of the new changes that would be effective Jan 1 09. The state program has been approved by HUD.

Changes that are effective Jan 1/ 2009 are

1. Before Jan 1 09 it was the homeowners responsibility for the site preparation of there home as well as determining if the home lied in a flood hazard area are not. Effective Jan 1 2009 it is the responsibility of the installer to assure that site prep

has been done before the home is installed at the location. It is the responsibility of the installer to determine if the home is going into a flood hazard area and if so there are responsible for making sure the homeowner has an elevation certificate in hand and It is the installers responsibility to make sure if the property where the home is to be installed is at are above the BFE If the property is at are above the BFE the installer can set the home to new standard. If the property is below the BFE the installer must have an engineered drawing from the homeowner who has hired a registered professional engineer or architect to design the foundation and the installation of the home at that location. The installer then is responsible for installing the home to the engineered specs. (3285.102)

2. Site Prep. (3285.203) the home site must be graded as shown in figure 3285.203 or other methods such as a drain tile or automatic pump system must be provided to remove any water that may collect under the home. All drainage must be diverted away from the home and must slope a minimum of ½ inch per foot away from the foundation for the first ten feet. Where property lines and other physical conditions exist the site must provide drains and swales or otherwise be graded to drain water away from the home.
3. Minimum Clearance (3285.305) the final rule clarifies that a 12 inch minimum clearance be maintained under the home from the lowest point of the frame to grade.
4. Pier Heights (3285.306) Pier heights have been reduced in the final rule from a maximum of 80" to 67". A registered engineer or architect is required to design installations over 67" in height. (3285.309)
5. Anchors (3285.402) all anchors and stabilizers must be corrosion resistant and coated with at least .30 oz zinc coating. This rule has been suspended until a ruling June 1st. 2009.
6. Longitudinal anchors (3285.402) Longitudinal anchoring is required in all wind zones to provide resistance to design wind forces.
7. Bottom Board (3285.804) the final rule requires that all missing insulation be replaced prior to closure and that all torn are split bottom board be resealed.
8. Gaps (3285.802) No gaps are permitted between the structural elements along the mating line of multi section homes however the final rule does provide for minor gaps prior to completion of the exterior of the home provided all gaps are closed before completion the home sections are in contact and the mating gasket is provided and any gaps then shimmed.
9. Skirted homes (3285.204) All skirted homes must have a 6 mil poly. Ground vapor retarder installed.
10. Skirting (3285.504) must not be attached in a manner that causes water to be trapped between the siding and trim or forced up into the wall cavities trim to which it is attached. Must not be attached in a manner that impedes contraction and expansion characteristics of the homes exterior covering.
11. Flood prone areas (3285.102) Lowest floor (BFE) There was comment in the new register that the definition of the lowest floor of a HUD home need to changed to mean bottom of the longitudinal chassis frame beam. HUD response (3285.102) of the final rule clarifies that the above terms are used as defined in 44cfr. And are not required again to be defined in the installation standards. In 44cfr 60.3

Manufactured housing installation guidelines in special flood hazard areas second edition superceding 1985 version requires that all portions of the building below the BFE be constructed with flood resistant material and all the buildings utility equipment including ductwork to be protected from flooding (elevated or waterproofed). By elevating the first floor a distance above the BFE damage to horizontal support beams, flooring, utilities and ductwork below the top of the first floor can be avoided. The height of the protection above the BFE is termed free board. In a manufactured home all the mechanical for the home lies beneath the floor joist between the two I-beams. The Imhc through cont. ed. Classes have trained installers to set the bottom of the I-beam at the BFE so that all the mechanical is above the BFE. Also all the engineered sets are calling for the bottom of the I-beam to be at the BFE. FEMA also requires that all material below the BFE be treated. The beams of the manufactured homes are not treated.

12. For used homes that are being installed to state law the same applies in a flood hazard area. (912.22) In flood prone areas the foundation shall comply with the requirements set forth in the manual manufactured home installation in a flood hazard area (FEMA).
13. (912.22) site prep for used homes the area beneath and around the home shall be sloped and properly drained so that water will not accumulate under the home. Under state law for used homes the homeowner is still the responsible party.

CITY OF ABBEVILLE
REQUIREMENTS FOR MOBILE HOMES

NO MOBILE HOME MAY BE PERMITTED WITHIN THE SMART ZONE OR ANY SUBDIVISION OR NEIGHBORHOOD THAT RESTRICTS MOBILE HOMES. RESTRICTIONS CAN BE OBTAINED FROM THE CLERK OF COURTS OFFICE.

BEFORE PERMITS CAN BE ISSUED:

- Receive approval from Mayor.
- Inspection of Premises form attached must be brought to Primeaux, Touchet & Assoc. Before trailer is moved onto property it must be Inspected to meet the following: **See Sec. 11-41 attached for setback requirements.**

FURNISH CITY WITH THE FOLLOWING WHEN APPLYING FOR PERMIT: NOTE:WITHOUT THIS INFORMATION, THE INSPECTOR CANNOT VERIFY PROPER ZONING AND THEREFORE **A PERMIT SHALL NOT BE ISSUED.**

- For New Mobile Homes- bring in copy of Data Sheet with the HUD ID Label Number on the sheet and a copy of floor plans from the manufacturer (mobile home dealer)
- For Used Mobile Homes-bring in copy of Bill of Sale, Title or Act of Donation. All information on Data Sheet (found in kitchen cabinet under sink, on or near main electrical panel, or in bedroom closet) and/or MFG American National Standard Verification Label (Metal plate found on label located on frame or tongue of mobile home, etc) This information verifies building period meets the standard of mobile home: fire, wind, etc.
- Plat of Property - If you don't have one, it can be obtained at the Clerk of Court's Office, 1st floor of the Court House, (337)898-1992.
- Address - If you don't have one, it can be obtained by contacting the City's permit Department at (337)898-4213
- Proof of ownership of property - You must provide our office with this information in order to obtain permit.
- If family owns property - You must provide a notarized Family Permission Affidavit.
- Property/Lease - You must provide our office with this information in order to obtain permit. **PLEASE DISPLAY ADDRESS ON MOBILE HOME AS SOON AS IT IS PLACED ON PROPERTY.**(see Sec. 5-11 to 5-17 attached)
- Size and Year of Mobile Home
- Elevation Certificate- If trailer is in flood zone, contact Licensed Engineer for letter of elevation. (A final elevation certificate will be required for a Certificate of Occupancy)
Listed below are local Engineers:
 - Langlinais, LeBlanc & Assoc. 893-7643
 - Primeaux & Assoc. 893-8397
 - Sellers & Assoc. 893-2808

Cost of Permit – is determined by the cost of New or Used mobile home.

PERMITS REQUIRED:

- MOVING PERMIT to be purchased by mobile home mover at cost of **\$35.00**. Additional **\$25.00 per man per hour** for police officers required. Additional **\$200.00** is required if electrical crew assistance is needed. Home mover must have a copy of license from State of Louisiana on file in this office before permit can be issued.
- BUILDING PERMIT to be purchased by mobile homeowner. Cost of Permit is based on the cost of mobile home.
- ELECTRICAL PERMIT to be purchased by Licensed Electrician for new service or upgrade. Electrician must also fill out Electrical Inspection form once work is complete. **Contact City to inspect before electricity can be connected.** *SEE DIAGRAM FOR PROPER POLE INSTALLATION.
- WATER & SEWERAGE PERMITS to be purchased by State Licensed Plumber for each new service or tie in. **No water meter will be installed and no service will be connected until the following is installed:**
 - Shutoff valve in accordance with Sec. 610.1 attached)
 - Sewer clean out in accordance with Sec. 710.2.2-710.2.4 attached)**Contact City to inspect plumbing before work is covered**

INSPECTIONS REQUIRED: Two Inspections are required by the 2009 Wind & Flood Bldg Codes:
- Plumbing Inspection and Anchoring Inspection

(These inspections are to be done by City's Inspector (Richard Primeaux) & turned in to Permit Department)
INSPECTION FEE OF \$220.00 MUST BE PAID AT THE TIME THE BUILDING PERMIT IS ISSUED.
NOTE: RESPONSIBILITY OF HOME OWNER TO CONTACT INSPECTOR FOR THESE INSPECTIONS

- City Plumbing Inspector must inspect water & sewerage work and Anchorage of the mobile home. (See Sec. 11-42 attached).
- Electrical Inspector must inspect electrical work before electric service can be given.

AFTER ALL OF THE ABOVE ARE TAKEN CARE OF, THE ORDER CAN BE APPROVED FOR LIGHTS AND WATER TO BE CONNECTED.

NOTE:

***IF MOBILE HOME REQUIRES REMODELING, ALL LOUISIANA STATE UNIFORM CONSTRUCTION CODES MUST BE FOLLOWED.**

***NO MOBILE HOME OVER 15 YEARS OF AGE MAY BE PERMITTED WITHIN THE CITY LIMITS OF ABBEVILLE. (Sec. 11-40 attached)**

***NO MOBILE HOME MEASURING LESS THAN 14' IN WIDTH BY 65' IN LENGTH, AND NO MANUFACTURED HOME CONTAINING LESS THAN 700 SQ. FT. MAY BE TRANSPORTED OR RELOCATED WITHIN THE CITY LIMITS. (Sec. 11-40 attached)**

***ONLY MOBILE HOMES MAY BE PERMITTED – CAMPERS & CAMPER TRAILERS WILL NOT QUALIFY. (Sec. 11-9 attached)**

Please contact Permit Department if any questions at (337)898-4212 or (337)898-4213. (Permit Hours: 8:30-4:00)

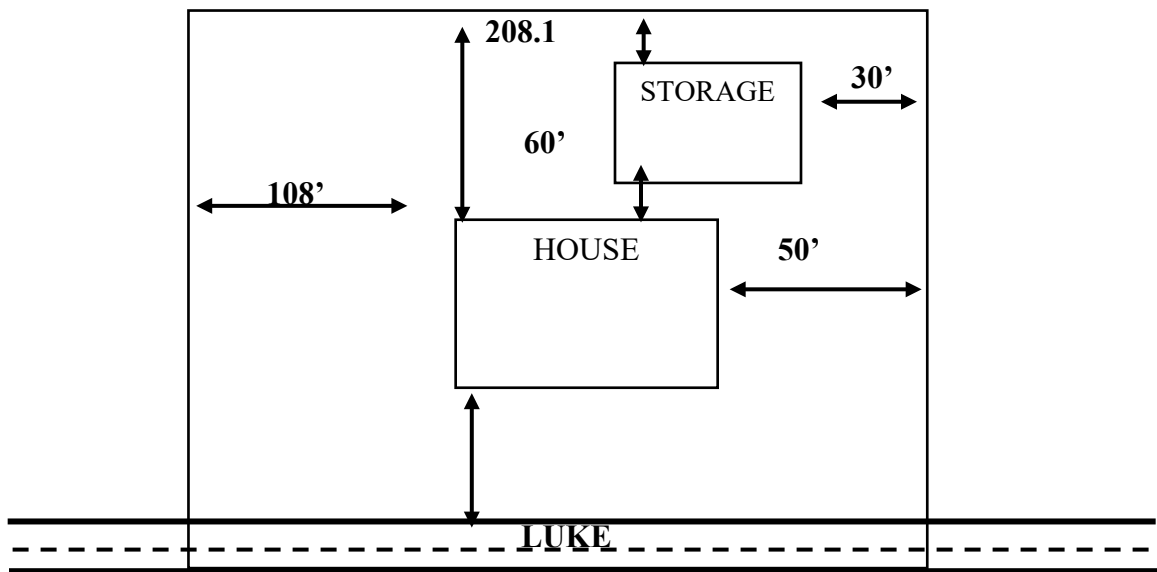
SITE PLAN – Can be drawn by homeowner

- Property lines and lot dimensions
- All easements (utility, drainage, etc.) any other encumbrances
- Existing and proposed overhead utility lines
- All buildings and structures on the site and their dimensions (main building(s), storage building(s), porches/canopies, signs, fences, etc.) For additions, identify existing building(s) and addition(s) (at least 10ft from structures)
- Parking lot and each parking space (Commercial Buildings ONLY)
- All driveways and sidewalks, showing width and location
- All required landscaping and tree, not to interfere with overhead utility lines (if required or commercial building)
- Front setback (at least 15ft) (distance from front of building to front property line) as well as side (at least 5ft) and rear setbacks (at least 10ft)
- Edge of the road shown in relation to the property line
- **NOTE:** Direction of compass in relation to site plan.



PLEASE SEE "SITE PLAN EXAMPLE"

NOTE: IN SOME CASES, ADDITIONAL INFORMATION MAY BE REQUIRED



FOUNDATION PLAN – Can be drawn by homeowner

- Verify setbacks (per site plan)
- What type of foundation?
- What materials used for foundation, for reinforcement (size, type, placement of materials,) NOTE: Foundation blocks used must be of solid content.
- Indicate if using electrical, plumbing, gas, etc. in foundation
- Dimensions of foundation, interior footing or pads, exterior footings or pads, depth and width, slab thickness, support walls
- Form of excavations (free of stumps, roots, or other foreign matter)
- Garage floor sloped to garage opening or approved drain
- Verification of termite treatment
- Rodent protection required
- If necessary (loose soil, sandy soil, drainage problems need soil density report or compaction test)

The following *City of Abbeville Ordinances* provide guidelines and explanations for requirements.

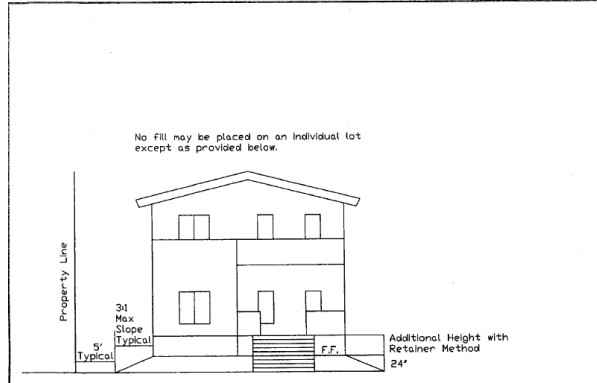
https://library.municode.com/la/abbeville/codes/code_of_ordinances

CHAPTER 5 – ARTICLE I – SECTION 5 – 1 CODES ADOPTED

CHAPTER 5 – ARTICLE I – SECTION 5 – 4 BUILDING PERMITS REQUIRED

CHAPTER 5 – ARTICLE I – SECTION 5 – 8 SEPARATION BETWEEN RESIDENTIAL AND/OR COMMERCIAL PROPERTIES

CHAPTER 5 – ARTICLE I – SECTION 5 – 9 SEPARATION OF NEW CONSTRUCTION AND DRAINAGE DITCHES



CHAPTER 5 – ARTICLE I – SECTION 5 – 11 REGULATION OF STRUCTURES, GENERAL

CHAPTER 5 – ARTICLE I – SECTION 5 – 12 ASSIGNMENTS OF MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 13 OBLIGATION TO OBTAIN MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 14 POSTING OF MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 15 FAILURE TO POST MUNICIPAL ADDRESS

CHAPTER 5 – ARTICLE I – SECTION 5 – 16 EFFECTIVE DATE

CHAPTER 5 – ARTICLE I – SECTION 5 – 17 PENALTIES, RIGHT OF ENTRY

CHAPTER 5 – ARTICLE V – SECTION 5 – 103 PLUMBING INSPECTIONS AND TESTS REQUIRED

CHAPTER 5 – ARTICLE VI – SECTION 5 – 173 MANUFACTURED AND MODULAR HOUSING PROHIBITED

CHAPTER 11 – MANUFACTURED HOUSING AND MOOBILE HOME ORDINANCES

CHAPTER 15: ARTICLE II – SECTION 15 – 41 USE OF PUBLIC SEWER REQUIRED

CHAPTER 15: ARTICLE II – SECTION 15 – 79, 81, 82 & 87 BUILDING SEWERS AND CONNECTIONS

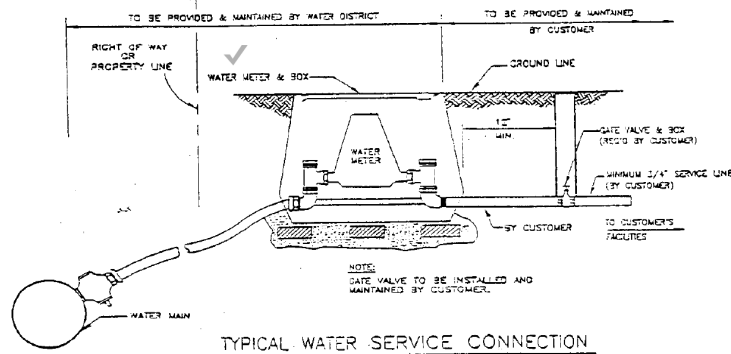
CHAPTER 18: ARTICLE I – SECTION 18 – 3 APPLICATION FOR SERVICE - WATER

CHAPTER 18: ARTICLE II – SECTION 15 – 41 USE OF PUBLIC SEWER REQUIRED

Louisiana State Plumbing Codes

http://www.ecodes.biz/ecodes_support/Free_Resources/louisiana/Louisiana_main.html

CHAPTER 6 – SECTION 610 – VALVES REQUIREMENTS



CHAPTER 7 – SECTION 710 – CLEAN-OUTS

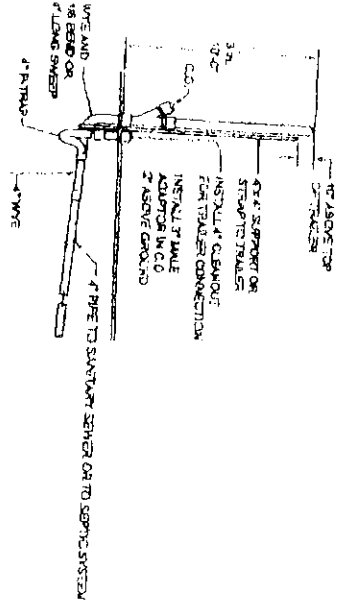
IN ADDITION TO THE ABOVE, THE CITY IS REQUIRING A CLEAN-OUT TO BE INSTALLED WHICH IS EASILY ACCESSABLE BY CITY PERSONEL AT ALL TIMES. THE LOCATION OF THE CLEAN-OUT WILL BE DIRECTED BY CITY PERSONEL. CLEAN-OUT LOCATIONS SHALL BE INCLUDED ON DRAWINGS.

National Electrical Codes

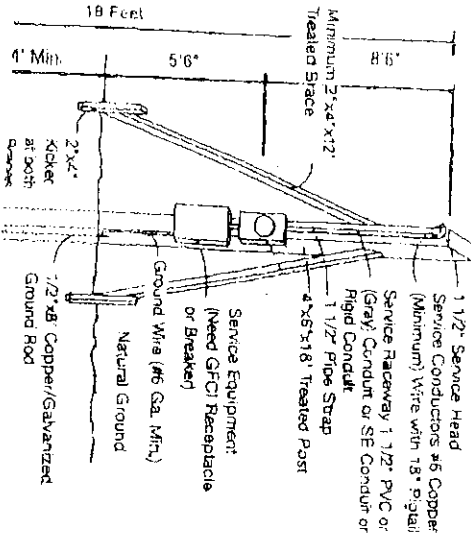
<https://www.mikeholt.com/mojonewsarchive/NEC-HTML/HTML/Article230-Services~20020219.htm>

ARTICLE 230 – SERVICES - VERTICAL CLEARANCE INFORMATION

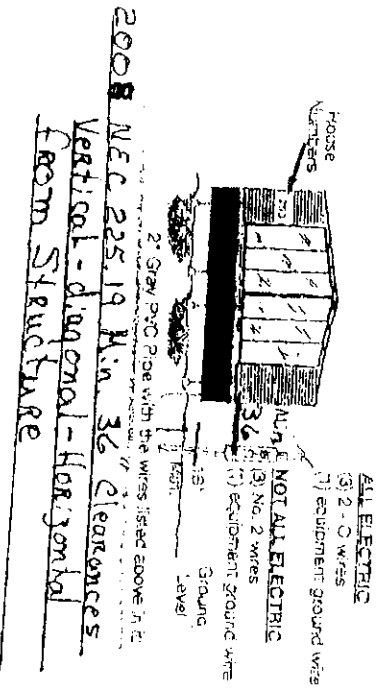
(Diagram E)



(Diagram D)



(Diagram A):
WIRING FOR MANUFACTURED HOME



(Diagram B) PERMANENT SERVICE

